

DA // Demolition of an Existing House and Propose of a New Dwelling

Tuesday, 3 June 2025

APPLICANT: Minh Tran

23 CHELMSFORD AVENUE BANKSTOWN NSW 2200

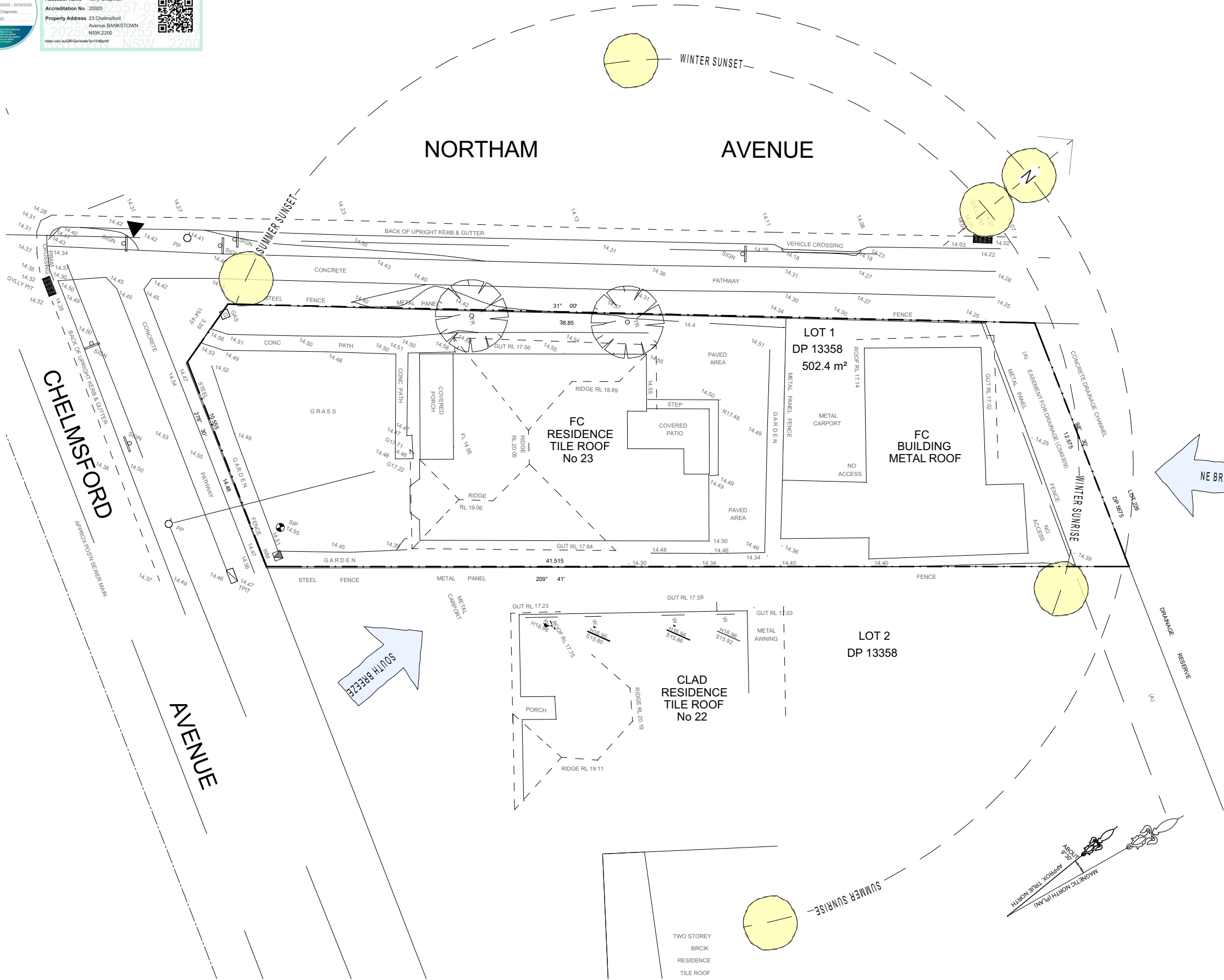
OPTION	DRAWING No.	DESCRIPTION	REV	ISSUED
DEVELOPMENT APPLICATION (stage 2)				
	DA01	COVER PAGE	01	<input checked="" type="checkbox"/>
	DA02	SITE ANALYSIS PLAN	01	<input checked="" type="checkbox"/>
	DA03	DEMOLITION PLANS	01	<input checked="" type="checkbox"/>
	DA04	PROPOSED SITE PLAN	01	<input checked="" type="checkbox"/>
	DA05	FSR AREAS & COMPLIANCE	01	<input checked="" type="checkbox"/>
	DA06	PROPOSED GROUND FLOOR PLAN	01	<input checked="" type="checkbox"/>
	DA07	PROPOSED FIRST FLOOR PLAN	01	<input checked="" type="checkbox"/>
	DA08	PROPOSED ROOF PLAN	01	<input checked="" type="checkbox"/>
	DA09	STREET ELEVATIONS	01	<input checked="" type="checkbox"/>
	DA10	PROPOSED NORTH & SOUTH ELEVATIONS	01	<input checked="" type="checkbox"/>
	DA11	PROPOSED EAST & WEST ELEVATIONS	01	<input checked="" type="checkbox"/>
	DA12	PROPOSED SECTIONS	01	<input checked="" type="checkbox"/>
	DA13	SHADOW DIAGRAMS 3D - SUMMER SOLTICE	01	<input checked="" type="checkbox"/>
	DA14	SHADOW DIAGRAMS 3D - WINTER SOLTICE	01	<input checked="" type="checkbox"/>
	DA15	PROPOSED DOOR SCHEDULES	01	<input checked="" type="checkbox"/>
	DA16	PROPOSED WINDOW SCHEDULES	01	<input checked="" type="checkbox"/>
	DA17	EXTERNAL FINISHES SCHEDULE	01	<input checked="" type="checkbox"/>
	DA18	NEIGHBOUR NOTIFICATION PLANS	01	<input checked="" type="checkbox"/>



Chelmsford Avenue Perspective



Northam Avenue Perspective



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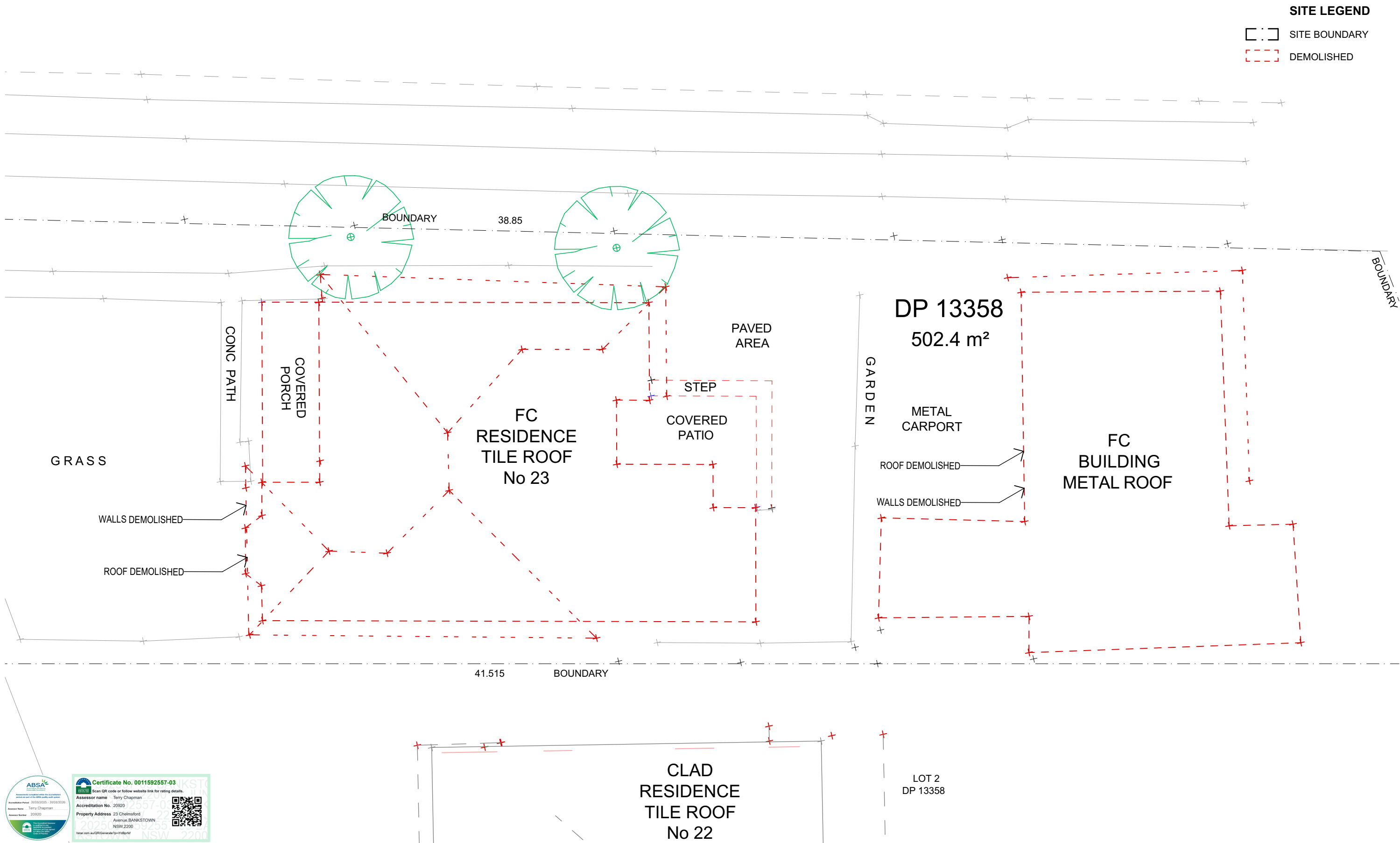
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REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS
Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**
Client: **Minh Tran**
Project: **2271**

DRAWING TITLE :
SITE ANALYSIS PLAN
PROJECT NAME :
**23 CHELMSFORD AVENUE
BANKSTOWN**

REVISION NO.
01
DRAWING NO.
DA02
SCALE:
1:200 @ A3



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PROJECT DETAILS

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Plot Date: **3/06/2025**

Project Status **STAGE 1A**

Client: **Minh Tran**

Project: **2271**

DRAWING TITLE :
DEMOLITION PLANS

PROJECT NAME :
**23 CHELMSFORD AVENUE
BANKSTOWN**

REVISION NO.
01

DRAWING NO.
DA03

SCALE:
1:100 @ A3

- LEGEND
- PRIVATE OPEN SPACE
 - PROPOSED BUILDING AREA
 - LANDSCAPE AREA

PROPOSED SIET AREAS

Zone Name	Measured Area
LANDSCAPE	150.22
POS	80.10
TOTAL SITE AREA	502.42

TOTAL PRIVATE OPEN SPACE

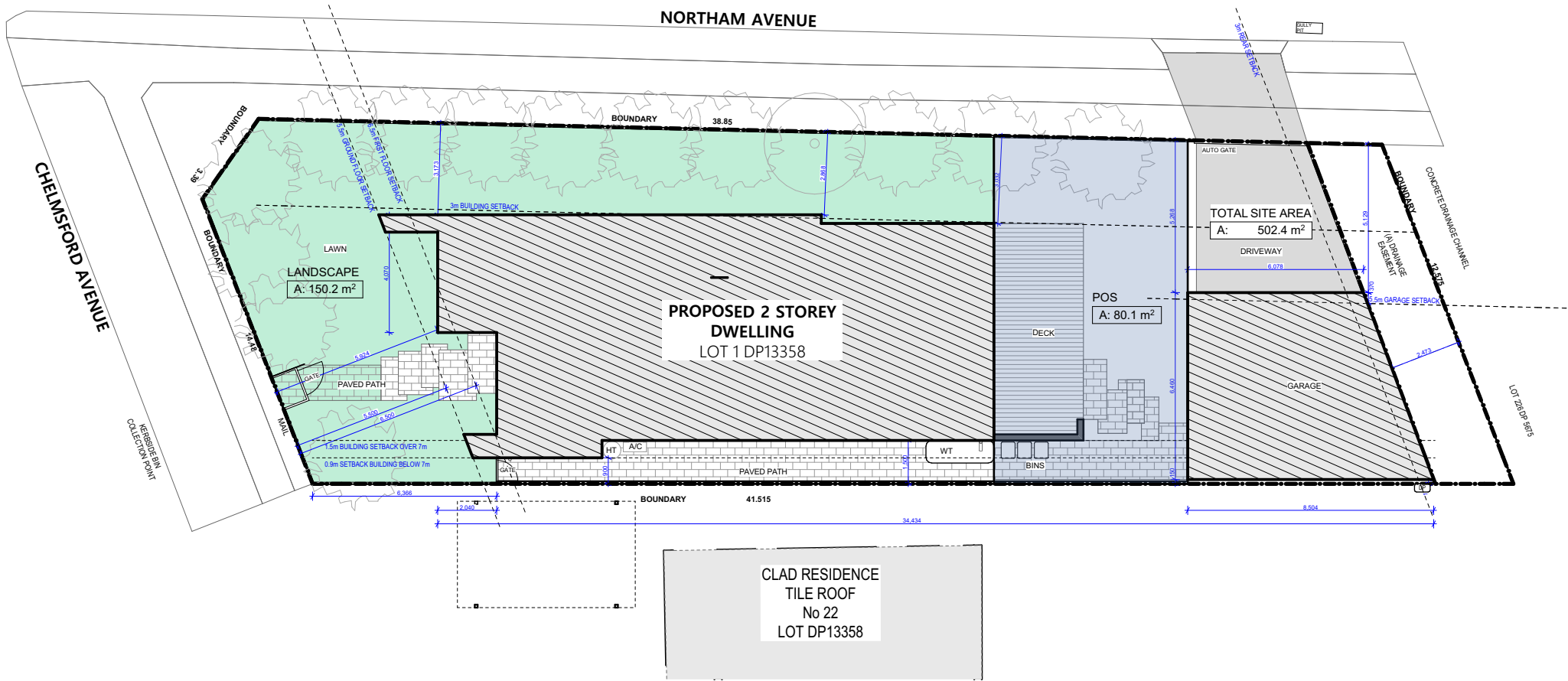
REQUIRED - 80m²
ACTUAL = 80m²

LANDSCAPED AREA

(a) a minimum 45% of the area between the dwelling house and the primary street frontage; and
(b) a minimum 45% of the area between the dwelling house and the secondary street frontage;

REQUIRED = 80m²
ACTUAL = 80m²

OTHER REQUIREMENTS:
Plant at least one 75 litre tree between the dwelling house and the primary street frontage (refer to the Landscape Guide for a list of suitable trees in Canterbury-Bankstown)



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Client: **Minh Tran**

Project: **2271**

DRAWING TITLE :

PROPOSED SITE PLAN

PROJECT NAME :

**23 CHELMSFORD AVENUE
BANKSTOWN**

REVISION NO.

01

DRAWING NO.

DA04

SCALE:
1:200 @ A3

LEP/DCP COMPLIANCE SUMMARY

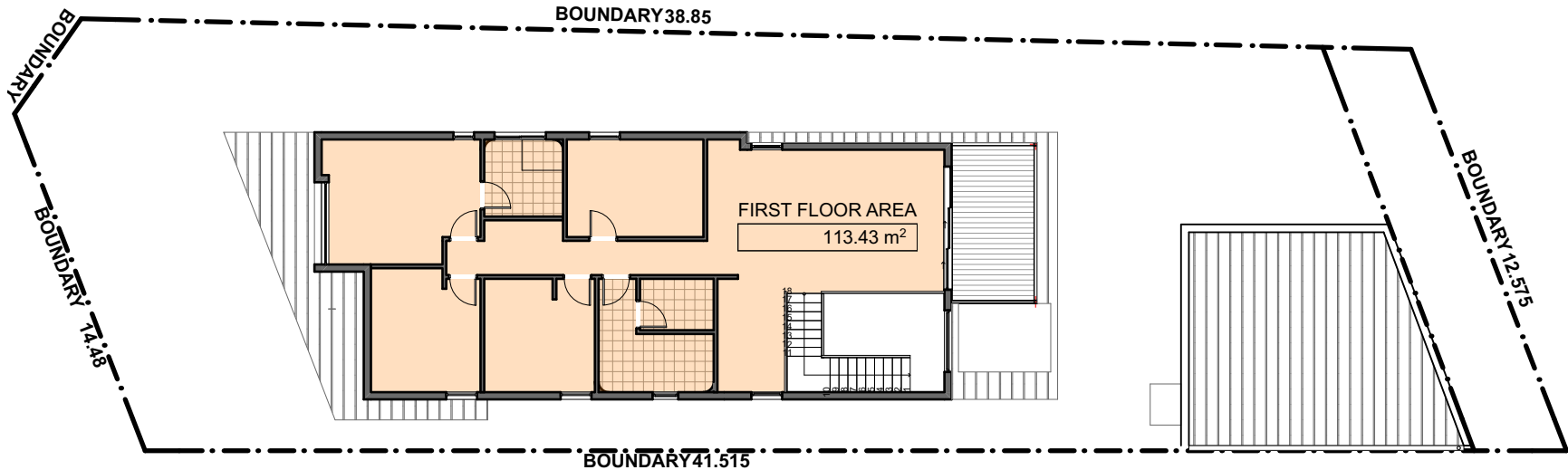
PROPOSED SIET AREAS

Zone Name	Measured Area
LANDSCAPE	150.22
POS	80.10
TOTAL SITE AREA	502.42

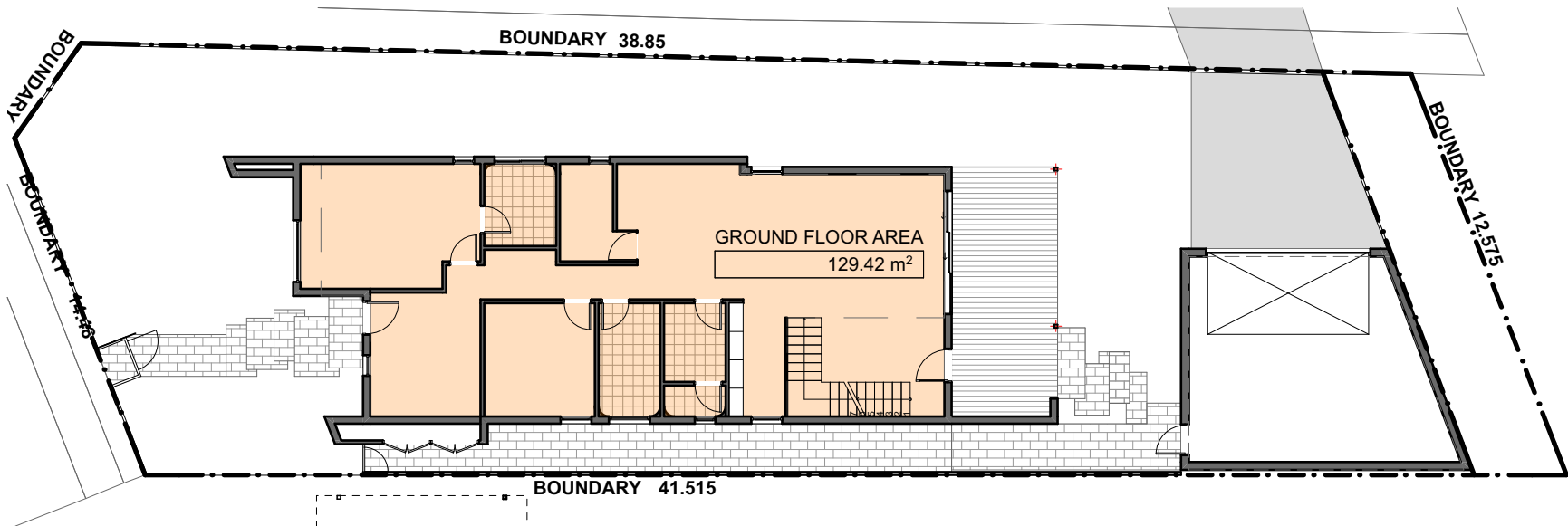
PROPOSED INTERNAL FLOOR AREAS

LEVEL	FLOOR AREA (m2)
FIRST FLOOR AREA	113.43
GROUND FLOOR AREA	129.42
	242.85 m²

LEP FSR - 1:1
PROPOSED FSR - 0.48:1



GFA FIRST FLOOR



GFA GROUND FLOOR



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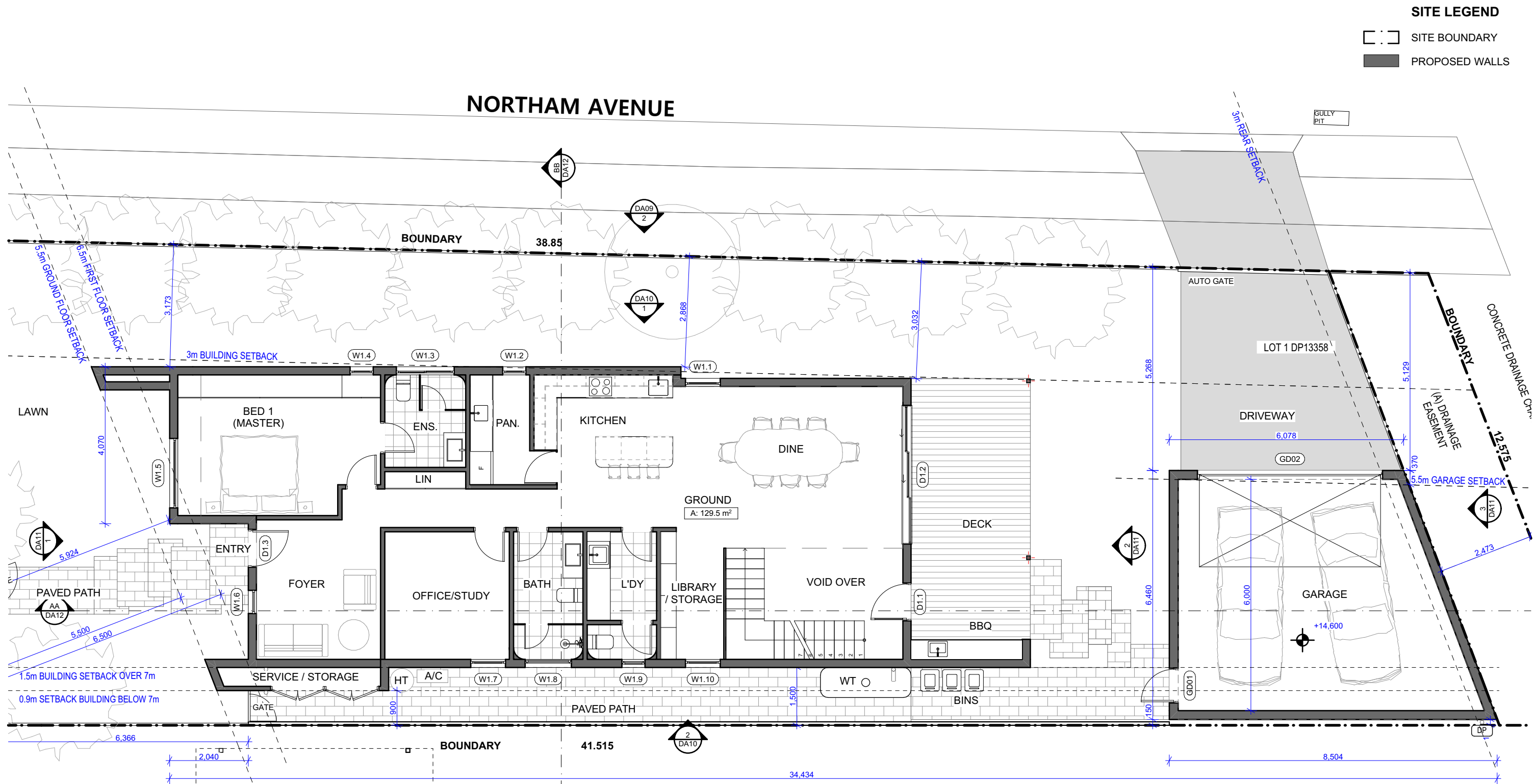
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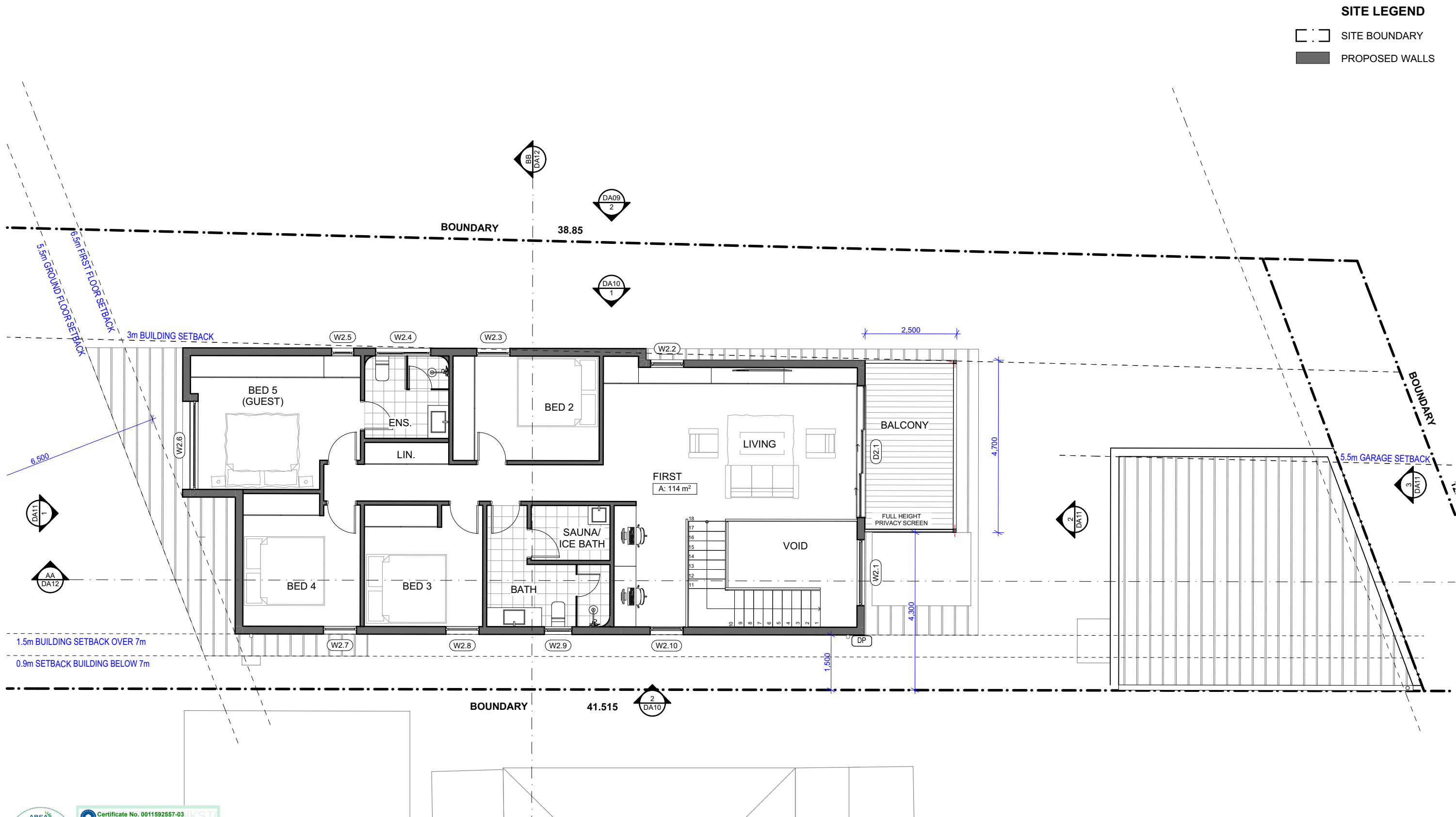
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REVISION NO.
01

DRAWING NO.
DA05

SCALE:
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PROJECT DETAILS

Drawn | Checked **JG - JG**

Plot Date: **3/06/2025**

Project Status **STAGE 1A**

Client: **Minh Tran**

Project: **2271**

DRAWING TITLE :

PROPOSED FIRST FLOOR PLAN

PROJECT NAME :

**23 CHELMSFORD AVENUE
BANKSTOWN**

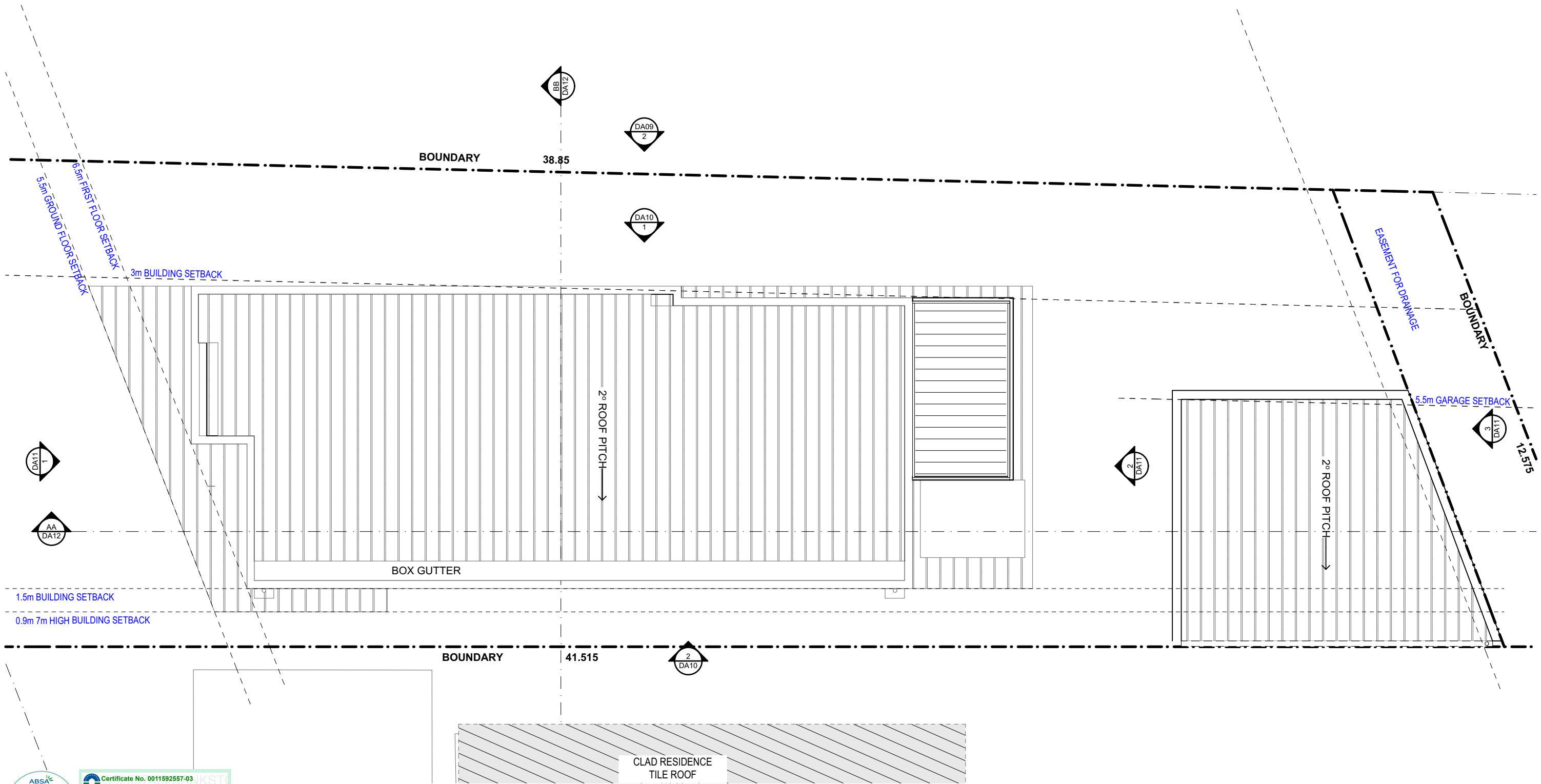
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DRAWING NO.

DA07

SCALE:
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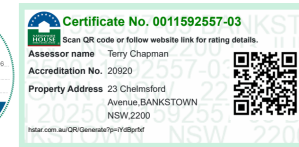
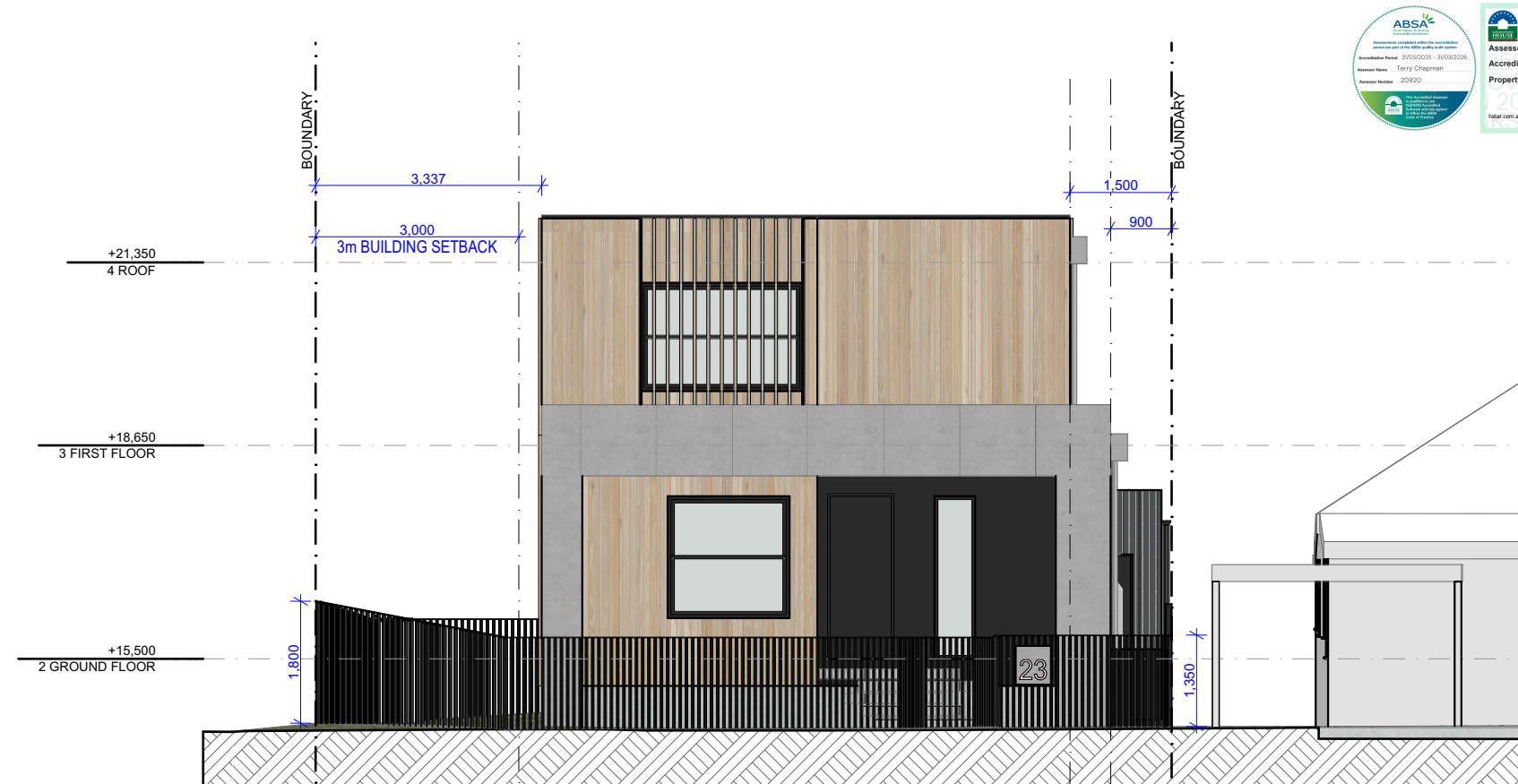
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Project: **2271**

DRAWING TITLE :
PROPOSED ROOF PLAN
PROJECT NAME :
**23 CHELMSFORD AVENUE
BANKSTOWN**

REVISION NO.
01
DRAWING NO.
DA08

SCALE:
1:100 @ A3



BOUNDARY FENCING WITH MATCHING PROFILE GATES:
POWDER COATED ALUMINIUM VERTICAL BLADE FENCING
17mm X 65mm PROFILE

1 CHELMSFORD AVE STREET ELEVATION



2 NORTHAM AVE STREET ELEVATION

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Plot Date: **3/06/2025**

Project Status **STAGE 1A**

Client: **Minh Tran**

Project: **2271**

DRAWING TITLE :

STREET ELEVATIONS

PROJECT NAME :

**23 CHELMSFORD AVENUE
BANKSTOWN**

REVISION NO.

01

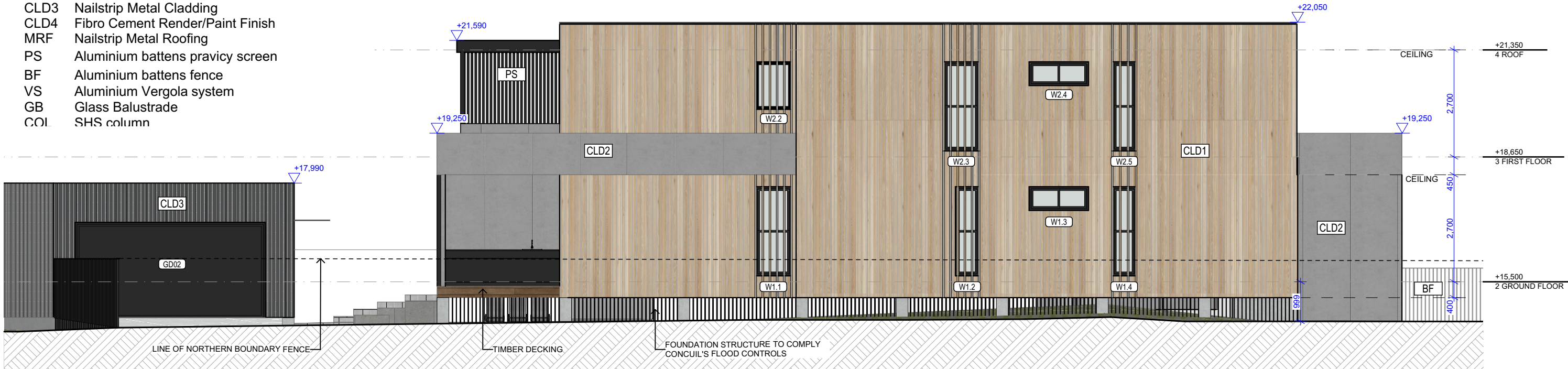
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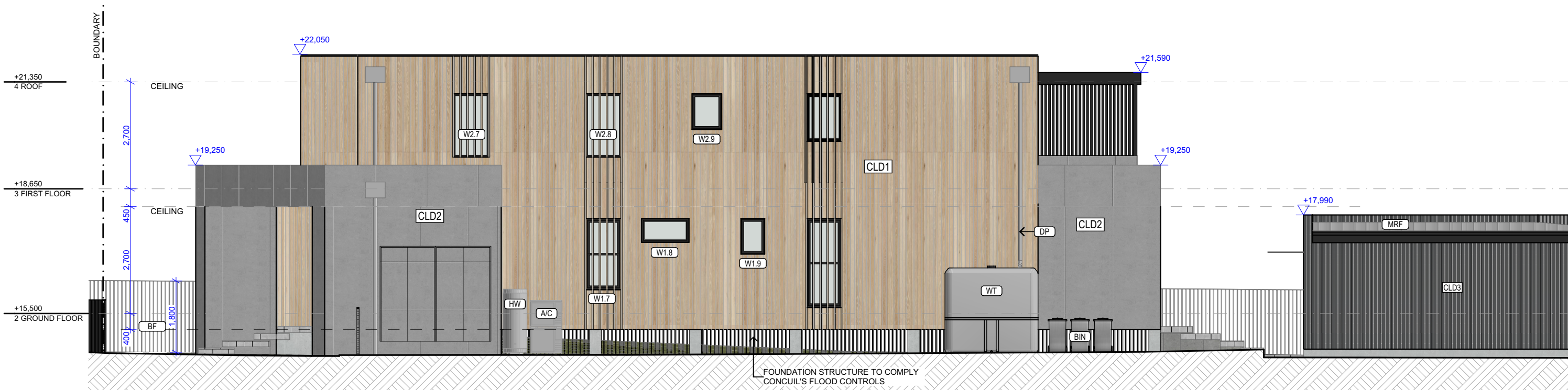
SCALE:
@ A3

LEGEND

- CLD1 Timber or Timber Look Cladding
CLD2 Fibro Cement Concrete Look Cladding
CLD3 Nailstrip Metal Cladding
CLD4 Fibro Cement Render/Paint Finish
MRF Nailstrip Metal Roofing
PS Aluminium battens privacy screen
BF Aluminium battens fence
VS Aluminium Vergola system
GB Glass Balustrade
COL SHS column



1 NORTH ELEVATION



2 SOUTH ELEVATION

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Plot Date: **3/06/2025**

Project Status **STAGE 1A**

Client: **Minh Tran**

Project: **2271**

DRAWING TITLE :

PROPOSED NORTH & SOUTH ELEVATIONS

PROJECT NAME :

**23 CHELMSFORD AVENUE
BANKSTOWN**

REVISION NO.

01

DRAWING NO.

DA10

SCALE:
1:100 @ A3

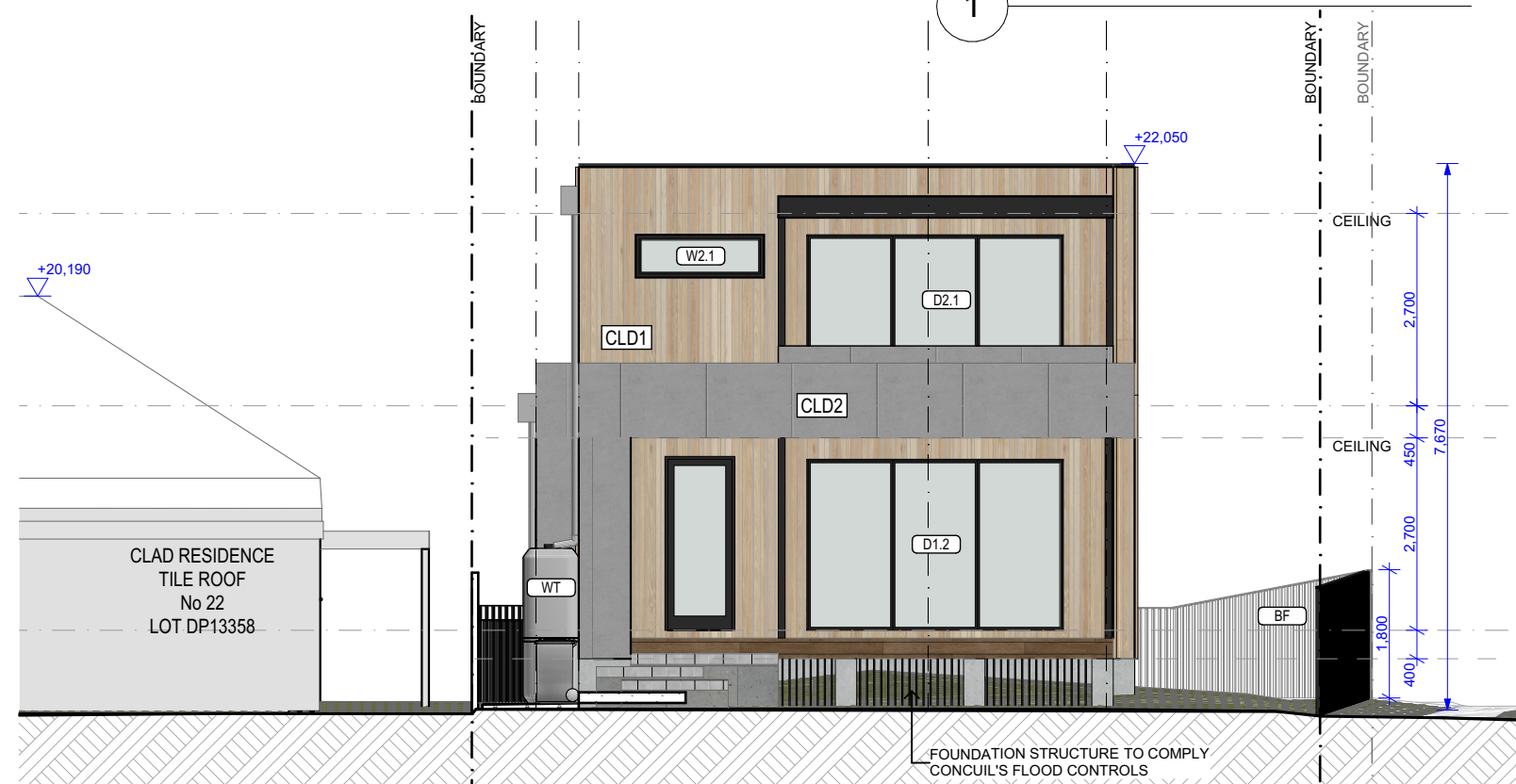


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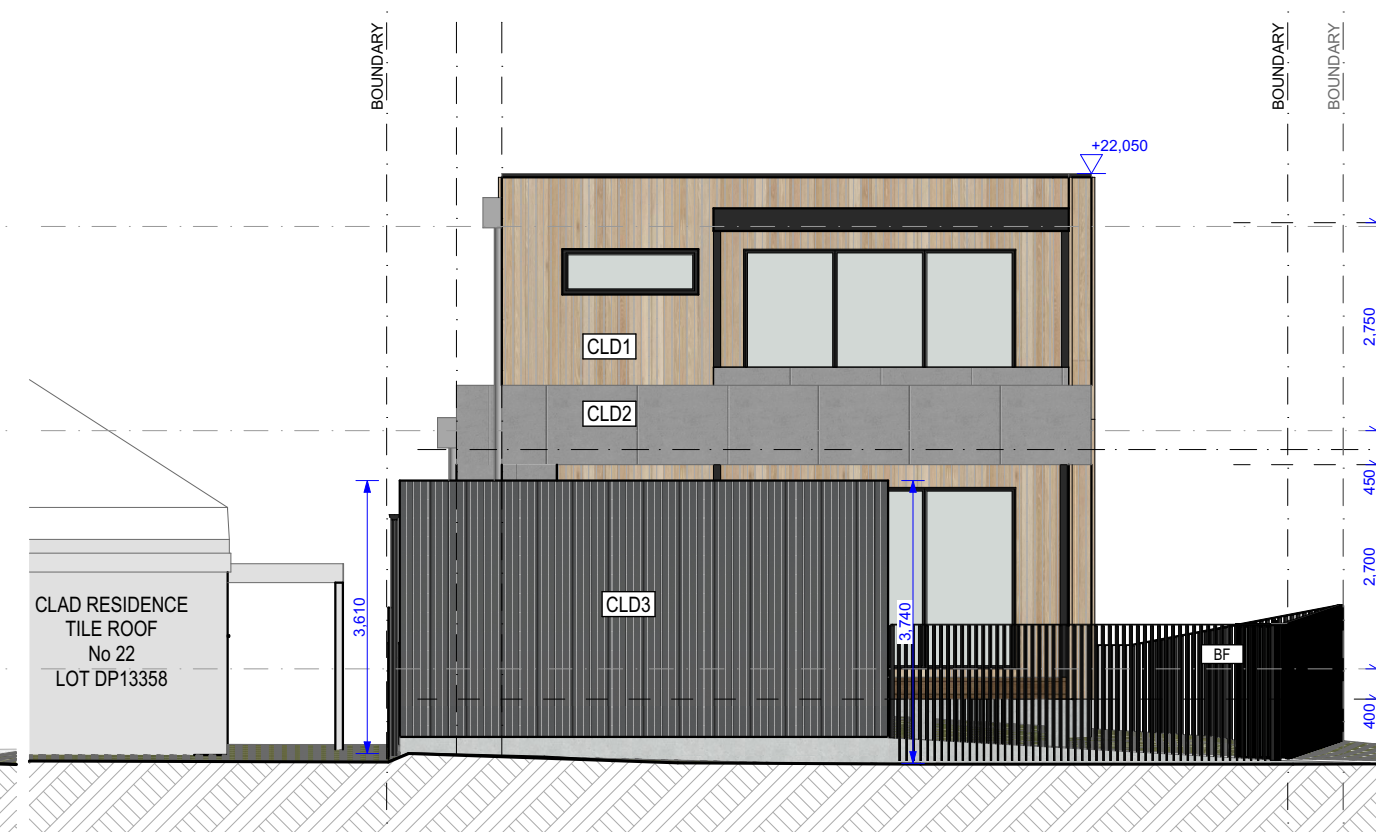
CLD1	Timber or Timber Look Cladding
CLD2	Fibro Cement Concrete Look Cladding
CLD3	Nailstrip Metal Cladding
CLD4	Fibro Cement Render/Paint Finish
MRF	Nailstrip Metal Roofing
PS	Aluminium battens privacy screen
BF	Aluminium battens fence
VS	Aluminium Vergola system
GB	Glass Balustrade
COL	SHS column



1 WEST ELEVATION



2 EAST ELEVATION



3 EAST ELEVATION - GARAGE

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Project Status **STAGE 1A**

Client: **Minh Tran**

Project: **2271**

DRAWING TITLE :

PROPOSED EAST & WEST ELEVATIONS

PROJECT NAME :

**23 CHELMSFORD AVENUE
BANKSTOWN**

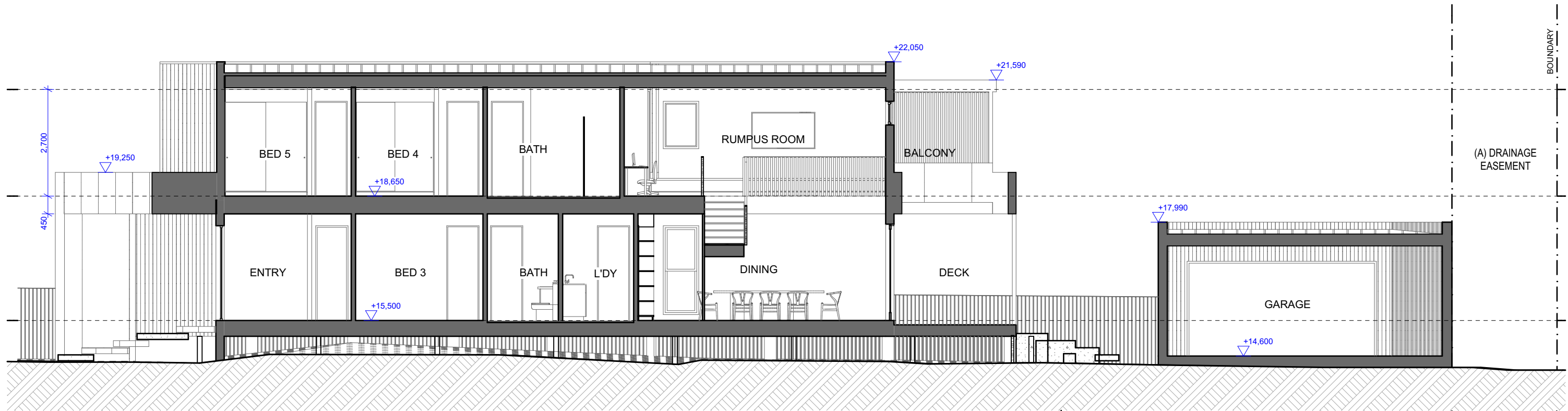
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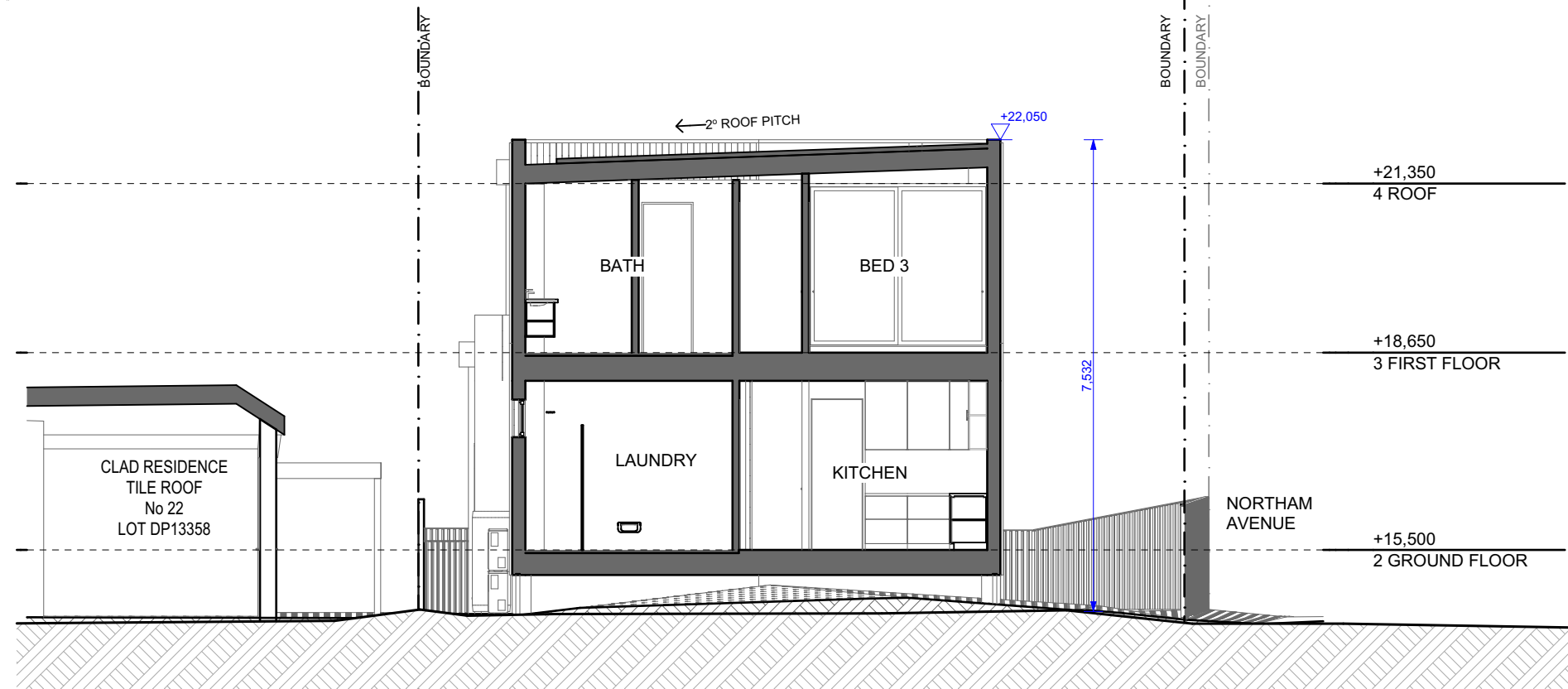
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DA11

SCALE:
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1 SECTION AA



2 SECTION BB



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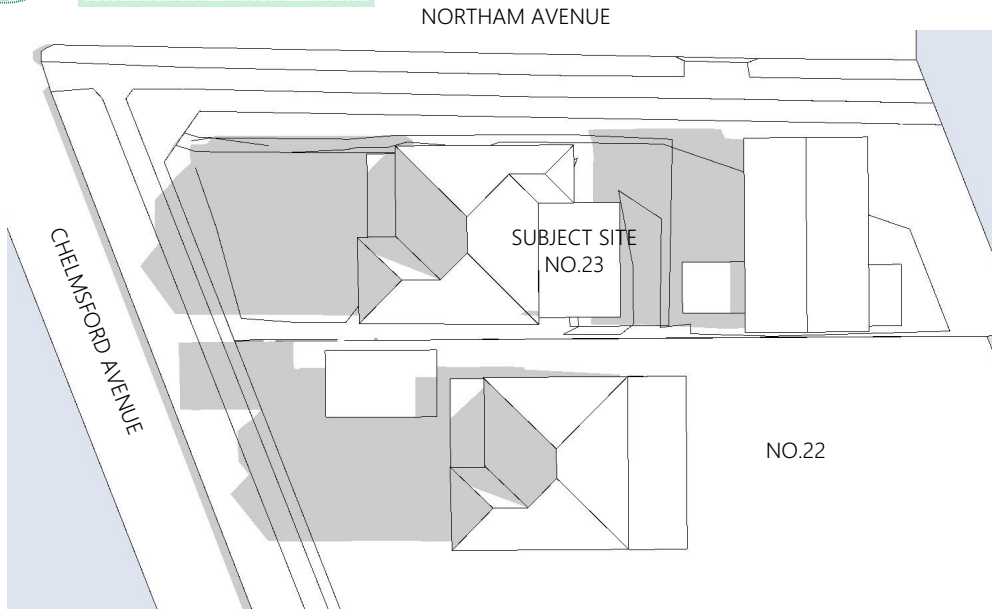
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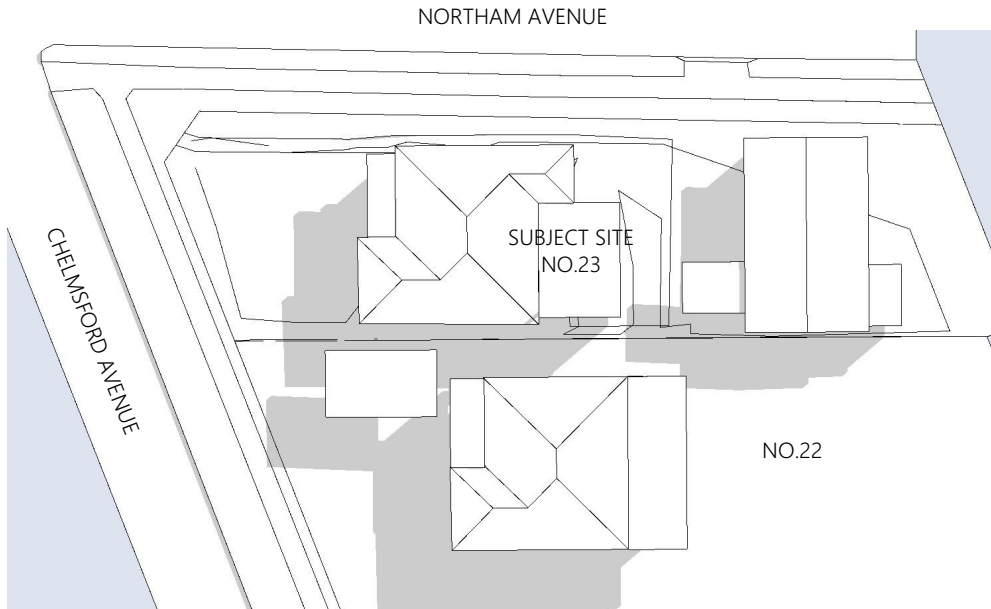
PROJECT DETAILS
Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**
Client: **Minh Tran**
Project: **2271**

DRAWING TITLE :
PROPOSED SECTIONS
PROJECT NAME :
**23 CHELMSFORD AVENUE
BANKSTOWN**

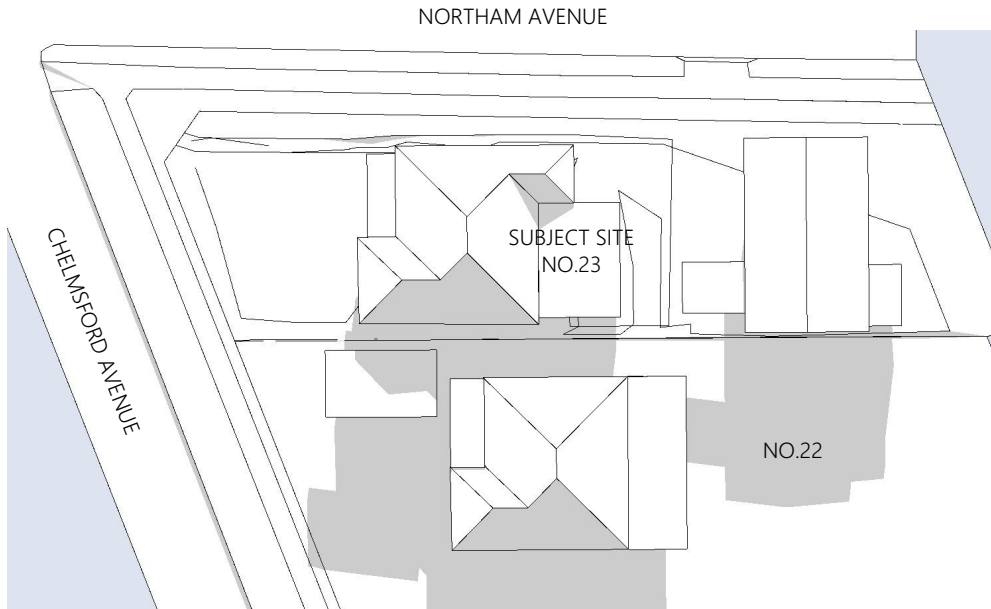
REVISION NO.
01
DRAWING NO.
DA12
SCALE:
1:100 @ A3



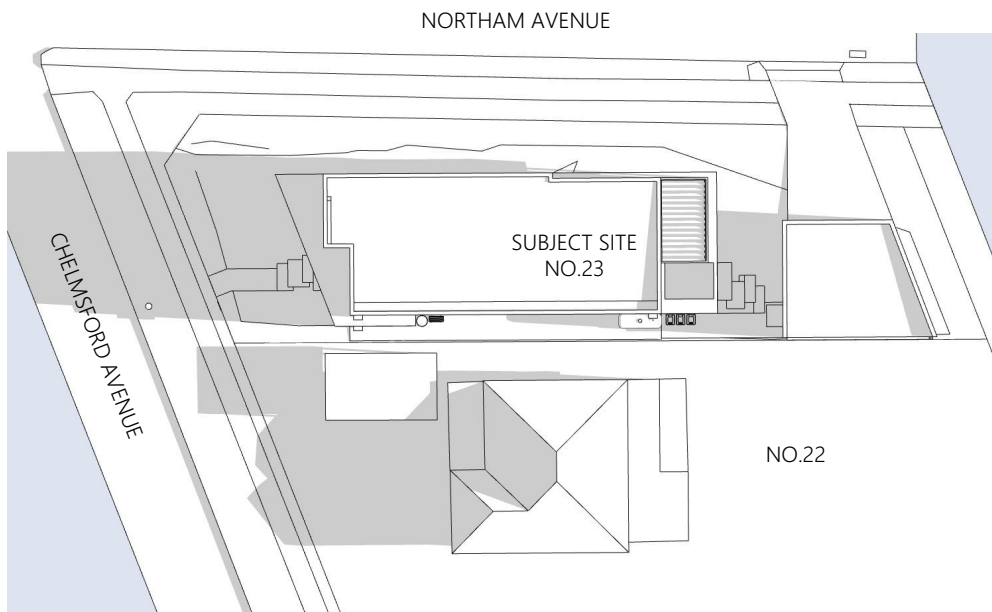
1 21 JUN 9AM - EXISTING



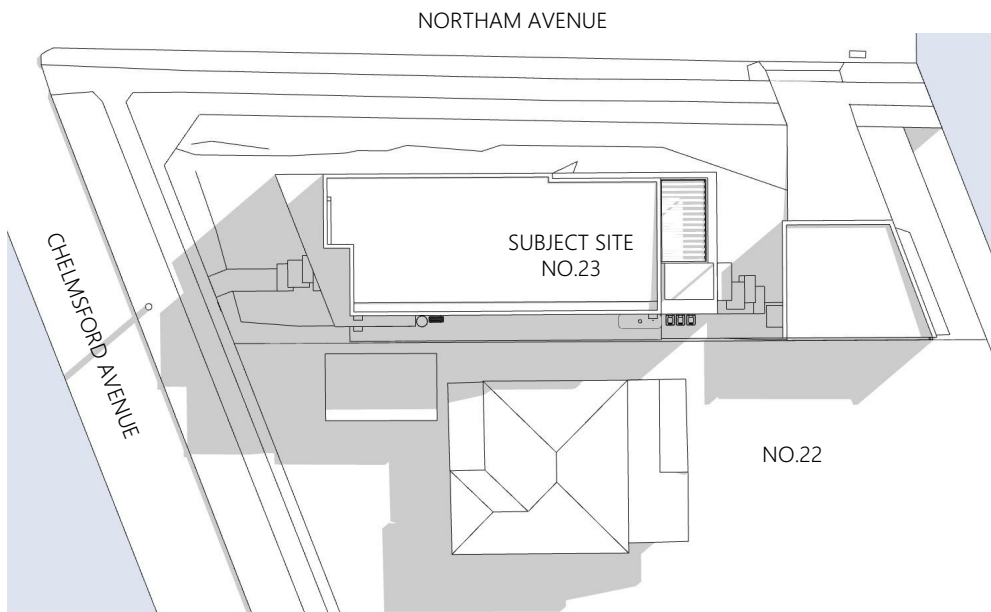
2 21 JUN 12PM - EXISTING



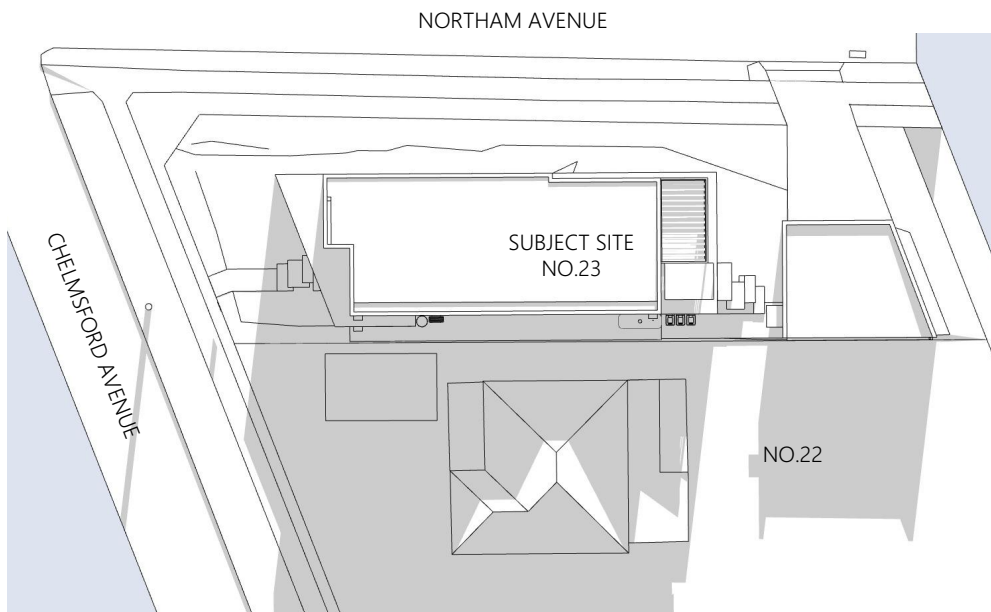
3 21 JUN 3PM - EXISTING



4 21 JUN 9AM - PROPOSED



5 21 JUN 12PM - PROPOSED



6 21 JUN 3PM - PROPOSED

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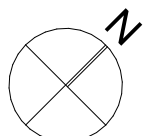
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01	3/06/2025	Issued for DA




PROJECT DETAILS
Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**
Client: **Minh Tran**
Project: **2271**

DRAWING TITLE :
SHADOW DIAGRAMS 3D - WINTER SOLTICE
PROJECT NAME :
23 CHELMSFORD AVENUE BANKSTOWN

REVISION NO.
01
DRAWING NO.
DA14
SCALE:
@ A3



DOOR SCHEDULE				
ID	D1.1	D1.2	D1.3	D2.1
TYPE				
LEVEL	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	FIRST FLOOR
ROOM				
ELEVATION VIEW (EXTERNAL)				
AREA (m ²)	2.16	8.64	2.16	8.64
FRAME WIDTH x HEIGHT (mm)	900x2,400	3,600x2,400	900x2,400	3,600x2,400
ORIENTATION	NORTH	NORTH	NORTH	NORTH
GLAZING	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR
FRAME	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM
BASIX THERMAL REQUIREMENTS	U-VALUE 4.10 OR LESS	U-VALUE 3.00 OR LESS	U-VALUE 4.10 OR LESS	U-VALUE 3.00 OR LESS
BASIX SHADING REQUIREMENT (PROJECTION / HEIGHT RATIO)	None	None	None	None
FLY SCREENS	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
BAL RATING	N/A	N/A	N/A	N/A
NOTES				

New Dwelling 23 Chelmsford Avenue BANKSTOWNNSW2200			Prepared by Chapman Environmental Services www.cesenergy.com.au 1300 004 914									
Water Target		40	Water Score		45	Conditioned Area		231.7				
Energy Target		72	Energy Score		72	Unconditioned Area		32.3				
Max H & C Loads are (MJ/m²)		30	Actual H & C Loads are (MJ/m²)		29.5	Star Rating		7.1				
Basix Commitments												
Landscaping		Total area of garden & lawn (m²)			100	Area of indigenous/low water use plants (m²)			0			
Fixtures		Shower heads			4 star (> 6 but <= 7.5 L/min)		Toilets		4 star			
Alternative Water		Minimum Rainwater tank size (L)			3000		Collect run off from roof area of at least (m²)			100		
		Toilet connection No		Laundry connection Yes		Landscape connection Yes		Pool top up n/a		Spa top up n/a		
Pool and Spa		Max pool volume (KL)			n/a							
Energy		Hot water system		Electric heat pump - air sourced			Rating		26 to 30 STCs			
		Bathroom ventilation		Individual fan, ducted to facade or roof			with		Manual switch on/off			
		Kitchen ventilation		Individual fan, ducted to facade or roof			with		Manual switch on/off			
		Laundry ventilation		Individual fan, ducted to facade or roof			with		Manual switch on/off			
		Cooling - living areas		Ceiling fans + 1-phase airconditioning			Rating		EER 3.0 - 3.5			
		Cooling - bedrooms		1-phase airconditioning			Rating		EER 3.0 - 3.5			
		Heating - living areas		1-phase airconditioning			Rating		EER 3.0 - 3.5			
		Heating - bedrooms		1-phase airconditioning			Rating		EER 3.0 - 3.5			
		Alternate Energy		Photovoltaic system able to generate at least			n/a		peak kilowatts of electricity			
		Electric cooktop & electric oven			Outdoor clothesline required			No indoor clothesline required				
Thermal Performance Assessment Based on the Following Requirements												
Floor Types		35mm Alpha panel flooring system			with		No insulation required					
Floor Coverings		Tiles		Living / Wet areas			Timber		n/a			
		Carpet		Bedrooms			Concrete		Garage			
External Walls		Timber framed Fibro clad			with		Sarking and R2.5 bulk insulation		Colour		Medium	
Internal Walls		Plasterboard			with		R2.5 bulk insulation to laundry and 2x bathrooms only					
Ceiling (floor over)		35mm Alpha panel flooring system			with		No insulation required					
Ceilings (roof over)		Timber above plasterboard.			with		R4.0 bulk insulation					
Roof		Metal		5 degrees		with		R1.3 roof blanket (exc garage)		Colour		Medium
Windows and Doors		AF double glazed clear to all windows and glazed doors unless noted otherwise			Sliding W		VAN-003-02		U-Value 4.70 or less		SHGC 0.48 +/- 5%	
					Awning W		AWS-023-36		U-Value 5.00 or less		SHGC 0.48 +/- 5%	
					D-Hung W		VAN-002-26		U-Value 4.60 or less		SHGC 0.50 +/- 5%	
					Fixed W		AWS-069-08		U-Value 3.60 or less		SHGC 0.69 +/- 5%	
					Sliding D		AWS-077-31		U-Value 3.30 or less		SHGC 0.44 +/- 5%	
		Hinged D		AWS-019-01		U-Value 4.10 or less		SHGC 0.52 +/- 5%				
		AF = Aluminium Framed			TB = Thermally Broken Aluminium Framed			TF = Timber Framed				
If the Universal Certificate indicates downlights, then these are to be non-ventilated LED / fluorescent Any exhaust fans noted are to be fitted with self-closing dampers or be otherwise sealed All insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA If there is a discrepancy between this document and the Natthers Certificate, then the Natthers Certificate shall take precedence												
Notes		2x Ceiling fans to lower and upper living areas										



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CLASS 2 REGISTERED DESIGN PRACTITIONER - ARCHITECTURAL **DEP0001284**

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REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS

Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**

Client: **Minh Tran**

Project: 2271

DRAWING TITLE :

PROPOSED DOOR SCHEDULES

PROJECT NAME :

**23 CHELMSFORD AVENUE
BANKSTOWN**

REVISION NO.

01

DRAWING NO.

DA15

SCALE:
@ A3

WINDOW SCHEDULE												
ID	W1.1	W1.2	W1.3	W1.4	W1.5	W1.6	W1.7	W1.8	W1.9	W1.10	W2.1	W2.2
TYPE												
LEVEL	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	FIRST FLOOR	FIRST FLOOR
ROOM												
ELEVATION VIEW (EXTERNAL)												
AREA (m2)	2.03	1.35	0.90	1.35	3.24	1.44	1.62	0.72	0.54	2.03	1.08	1.08
FRAME WIDTH x HEIGHT (mm)	900×2,250	600×2,250	1,500×600	600×2,250	1,800×1,800	600×2,400	900×1,800	1,200×600	600×900	900×2,250	1,800×600	900×1,200
ORIENTATION	WEST	WEST	WEST	WEST	WEST	EAST	EAST	WEST	WEST	WEST	EAST	WEST
GLAZING	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR
FRAME	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM
BASIX THERMAL REQUIREMENT (PROJECTION / HEIGHT RATIO)	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS
FLY SCREENS	None	None	None	None	None	None	None	None	None	None	None	None
BAL RATING	☒	☒	☒	☒	☒	☒	☒	☒	☒	☒	☒	☒
NOTES	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

WINDOW SCHEDULE								
ID	W2.3	W2.4	W2.5	W2.6	W2.7	W2.8	W2.9	W2.10
TYPE								
LEVEL	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR
ROOM								
ELEVATION VIEW (EXTERNAL)								
AREA (m2)	2.03	0.90	1.35	3.84	1.44	1.44	0.68	1.08
FRAME WIDTH x HEIGHT (mm)	900×2,250	1,500×600	600×2,250	2,400×1,600	900×1,600	900×1,600	750×900	900×1,200
ORIENTATION	WEST	WEST	WEST	WEST	EAST	EAST	EAST	WEST
GLAZING	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR	DOUBLE GLAZED CLEAR
FRAME	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM
BASIX THERMAL REQUIREMENT (PROJECTION / HEIGHT RATIO)	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS	U-VALUE 3.40 OR LESS
FLY SCREENS	None	None	None	None	None	None	None	None
BAL RATING	☒	☒	☒	☒	☒	☒	☒	☒
NOTES	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A



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REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS

Drawn | Checked **JG - JG**

Plot Date: **3/06/2025**

Project Status **STAGE 1A**

Client: **Minh Tran**

Project: **2271**

DRAWING TITLE :

PROPOSED WINDOW SCHEDULES

PROJECT NAME :

23 CHELMSFORD AVENUE BANKSTOWN

REVISION NO.

01

DRAWING NO.

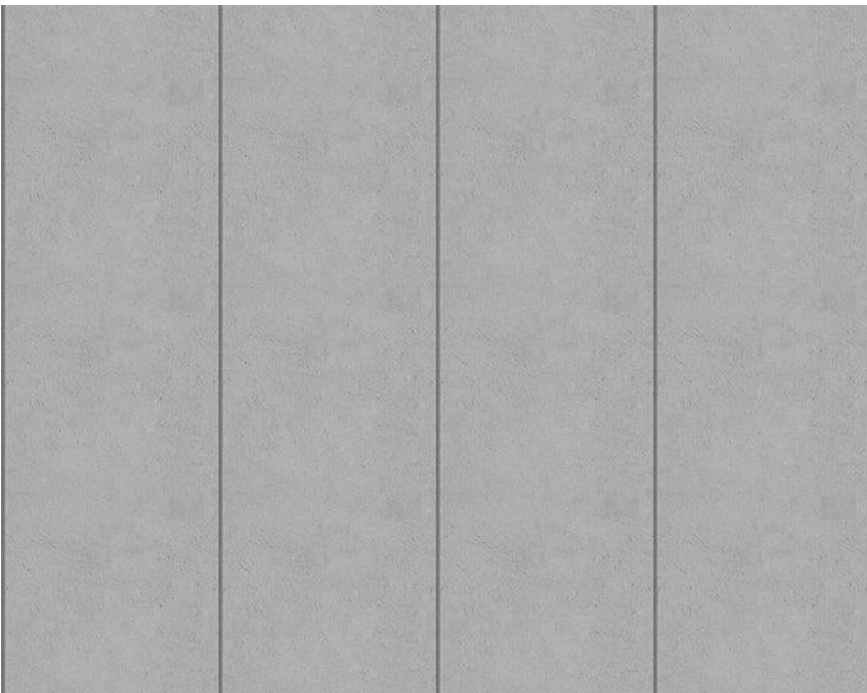
DA16

SCALE:

@ A3



CLD1 - Timber or Timber look external cladding



CLD2 - Fibro Cement Concrete look external cladding



CLD3 - Nailstrip Metal Cladding
MRF - Nailstrip Metal Roofing



Concrete floating steps to front entry and rear deck



PS & BF - Aluminium battens privacy screen
& boundary fence



VS - Vergola system
Colour Monument

Note - configuration, colours and finishes are for illustration purposes only.



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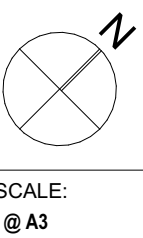
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REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS
Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**
Client: **Minh Tran**
Project: **2271**

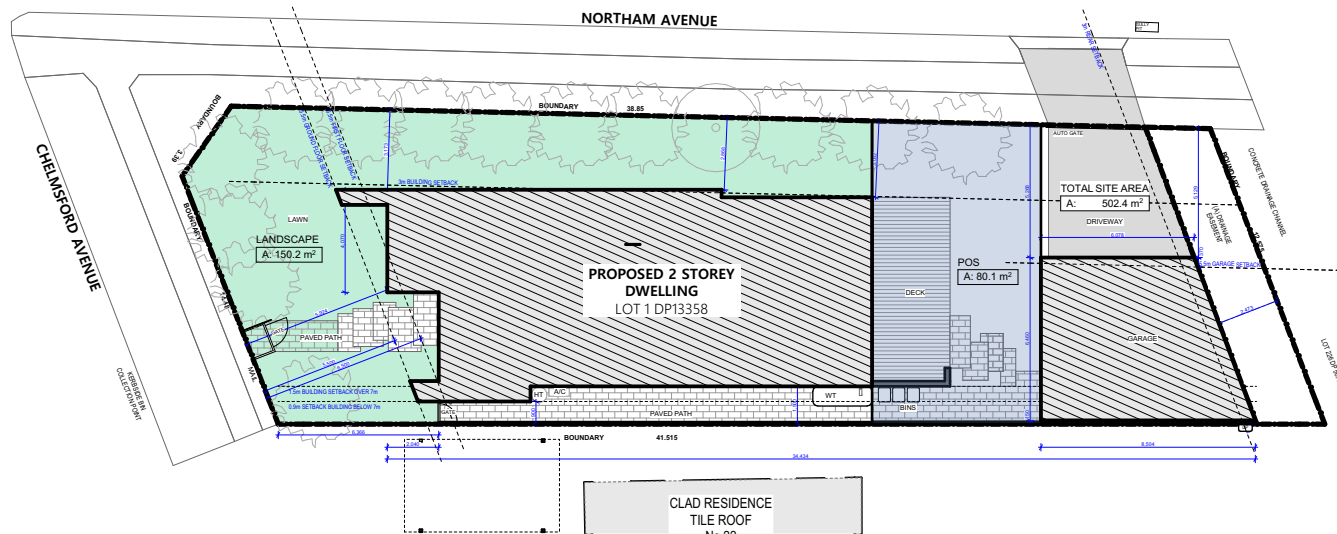
DRAWING TITLE :
**EXTERNAL FINISHES
SCHEDULE**
PROJECT NAME :
**23 CHELMSFORD AVENUE
BANKSTOWN**

REVISION NO.
01
DRAWING NO.
DA17

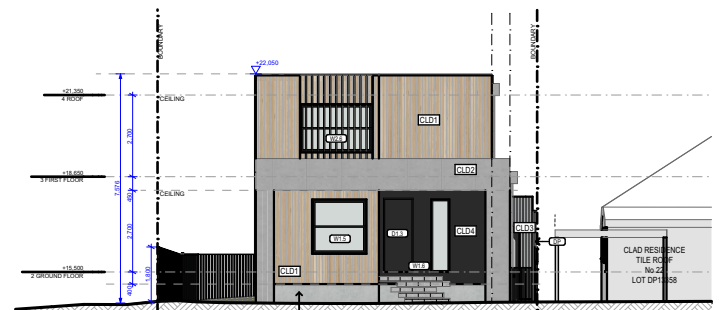




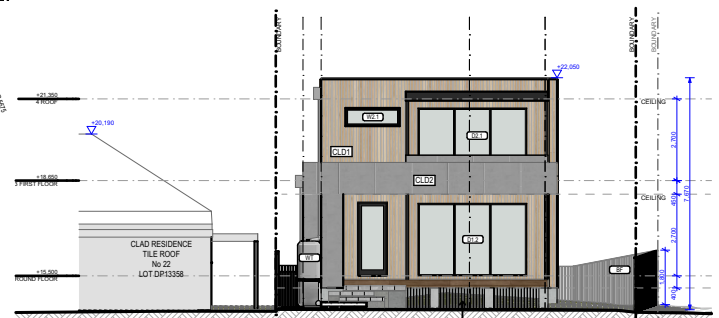
Certificate No. 0011592557-03
Scan QR code or follow website link for rating details.
Assessor name: Tarry Chapman
Accreditation No. 20099
Property Address: 23 Chelmsford Avenue, Bankstown NSW 2203
Hear more about the process here



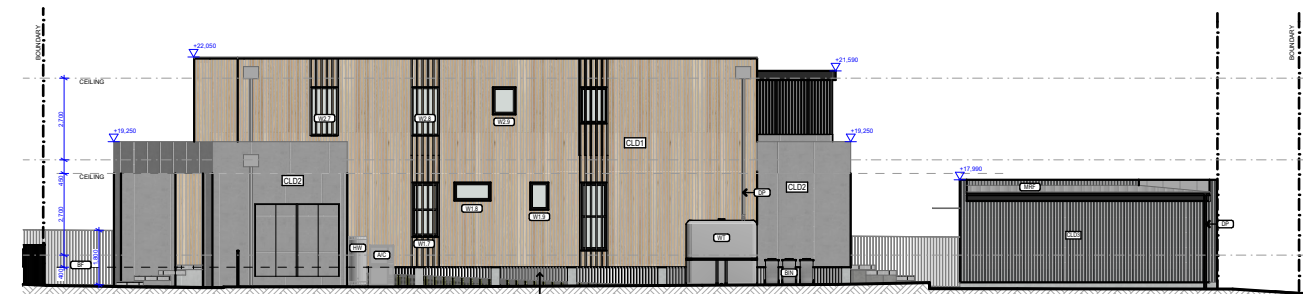
PROPOSED SITE PLAN
1:300



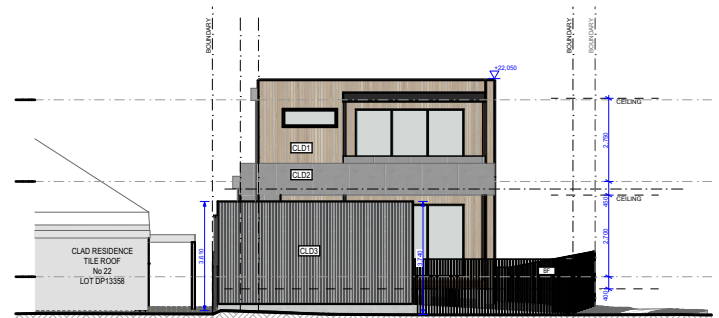
WEST ELEVATION
1:250



EAST ELEVATION
1:250



SOUTH ELEVATION
1:250



EAST ELEVATION - GARAGE
1:250

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REV	DATE	DESCRIPTION
01	3/06/2025	Issued for DA

PROJECT DETAILS
Drawn | Checked **JG - JG**
Plot Date: **3/06/2025**
Project Status **STAGE 1A**
Client: **Minh Tran**
Project: **2271**

DRAWING TITLE :
NEIGHBOUR NOTIFICATION PLANS
PROJECT NAME :
23 CHELMSFORD AVENUE BANKSTOWN

REVISION NO.
01
DRAWING NO.
DA18

SCALE:
1:300, 1:250 @ A4